

AGENDA SUPPLEMENT (1)

Meeting: Southern Area Planning Committee

Place: Online

Date: Thursday 1 April 2021

Time: 3.00 pm

The Agenda for the above meeting was published on 23 March 2021. Additional documents are now available and are attached to this Agenda Supplement.

Please direct any enquiries on this Agenda to Lisa Moore, of Democratic Services, County Hall, Bythesea Road, Trowbridge, direct line (01722) 434560 or email lisa.moore@wiltshire.gov.uk

Press enquiries to Communications on direct lines (01225)713114/713115.

This Agenda and all the documents referred to within it are available on the Council's website at www.wiltshire.gov.uk

Supplement 1 - Presentation Slides (Pages 3 - 48)

DATE OF PUBLICATION: 31 March 2021

Presentation Slides

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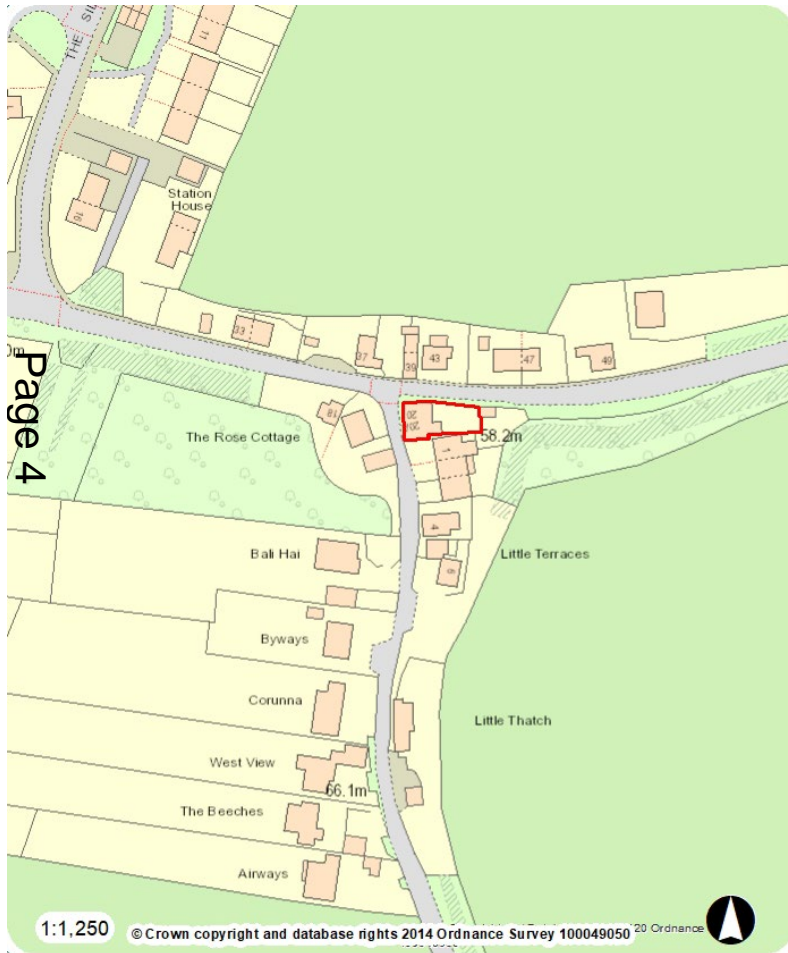
Southern Area Planning Committee

1st April 2021

7a) 20/09706/FUL & 20/10508/LBC 20 A Lode Hill, Downton, SP5 3PN

Proposed alterations to the built garage and walls at 20a Lode Hill (amendment to 19/10972/FUL & 19/11390/LBC)

Recommendation: Approve with Conditions



Site Location Plan

Aerial Photography

Property before 2013 permission

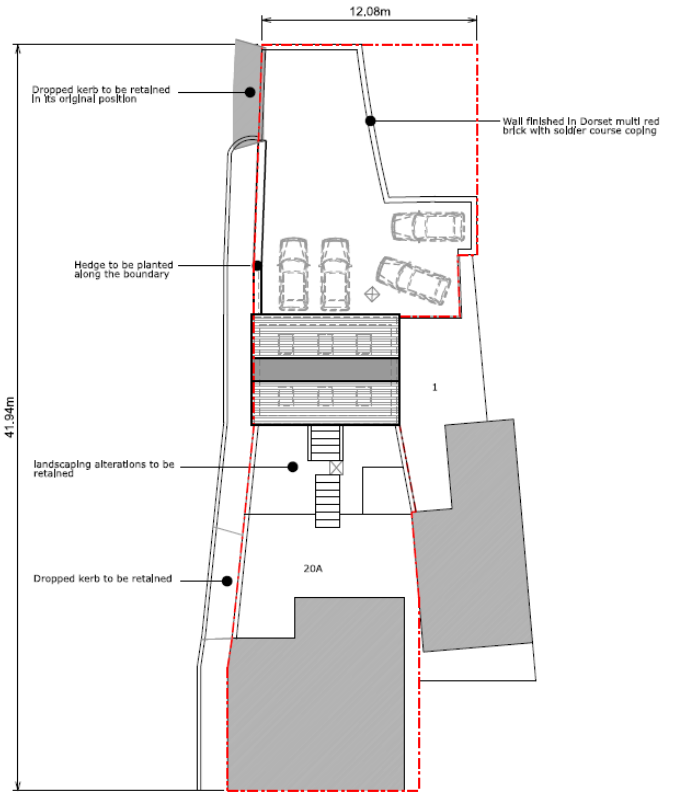


Page 5





Site as currently built out
as viewed from Lode Hill





Current wall detailing as viewed from Lode Hill

Page 9





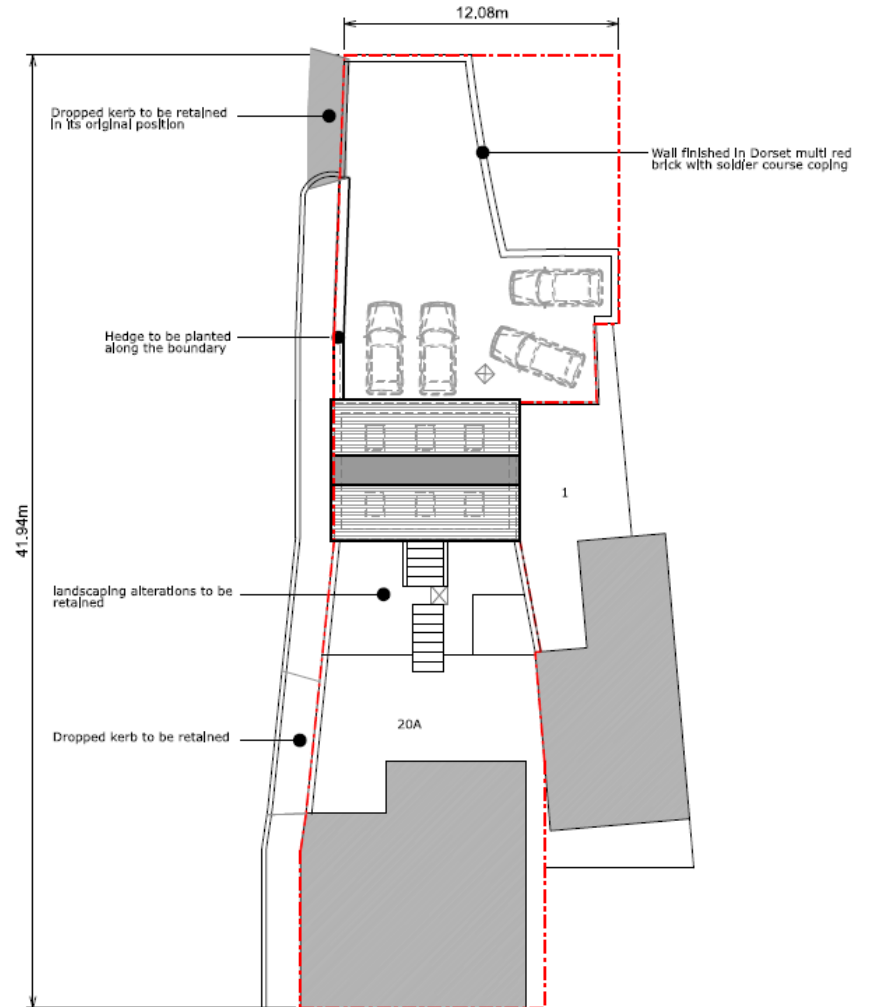
Site as currently built out

Page 10



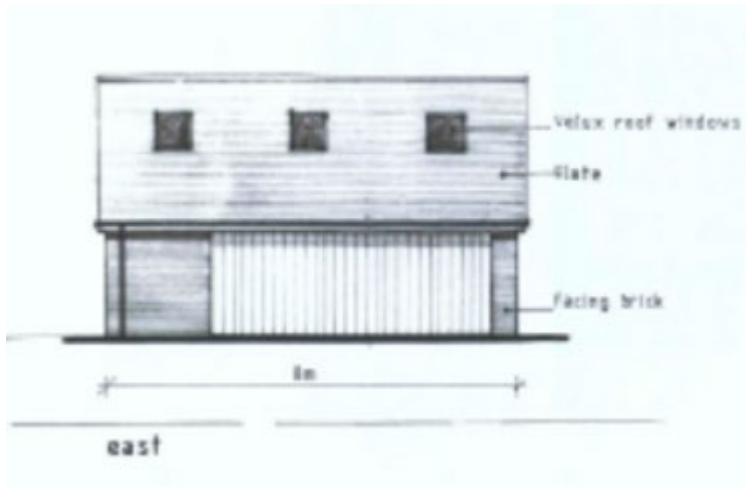
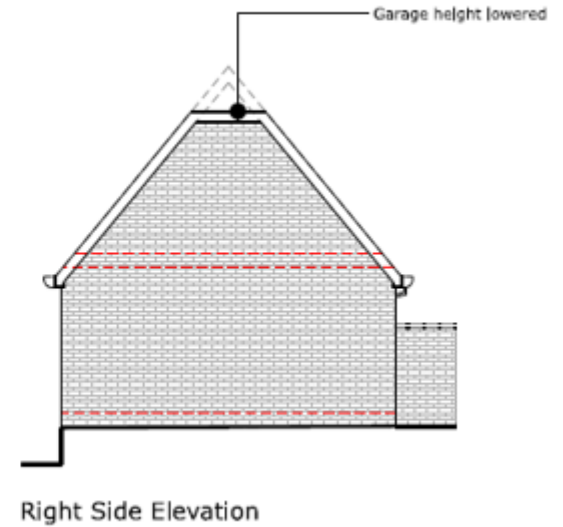
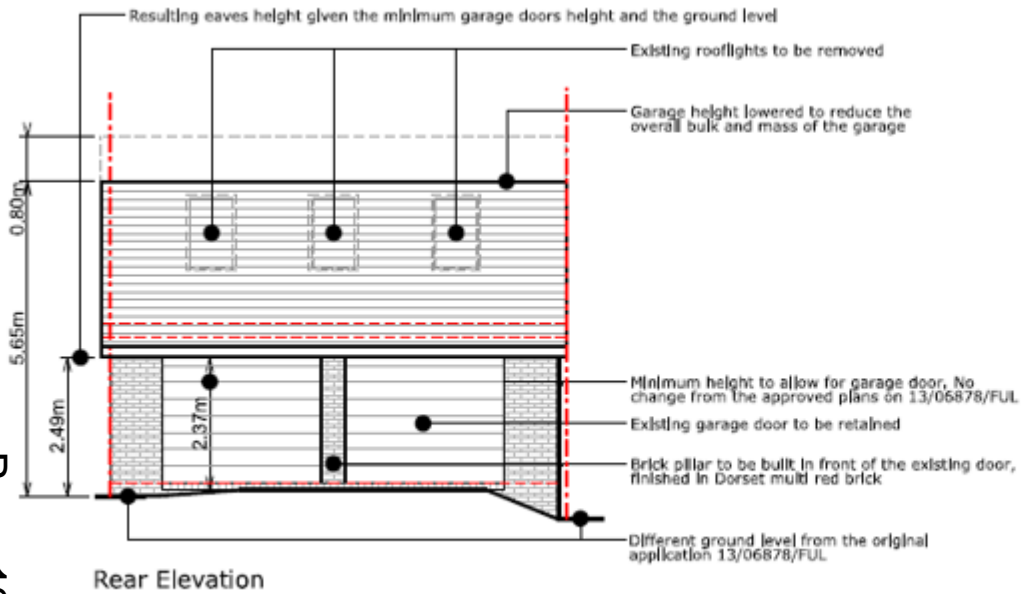
Proposed layout and changes

1. The height the garage is being reduced by 800mm to reduce the mass of the garage with the introduction of a flat roof section.
2. The 6 existing rooflights will be removed from the garage roof in order to avoid overdominance on the roof. The pre-app report suggested the removal of the three rooflights on the eastern slope of the roof but the current proposal includes the removal of all rooflights.
3. The introduction of a brick pier in front of the existing garage door to change the proportion of the garage front elevation.
4. The boundary wall finish will be changed to introduce 4 steps and a timber gate next to the main house as shown on the plans. The wall will have a traditional soldier course on top. This will be in line with the approved scheme (13/06878/FUL)
5. The wall will be finished in Flemish bond with Michelmersh Hampshire stock down bricks and the diamond pattern will be removed.
6. The retaining wall which is currently unfinished, will be finished with Dorset multi red brick.



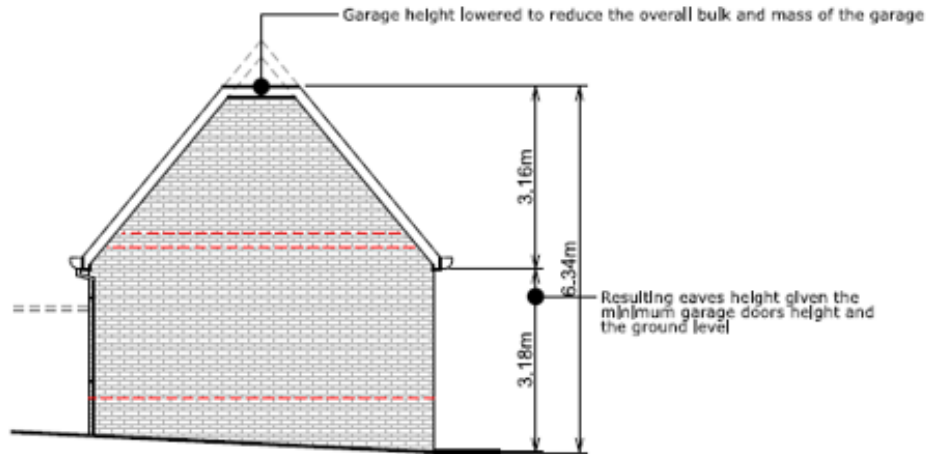
Proposed changes to garage building (compared to approved)

Page 12

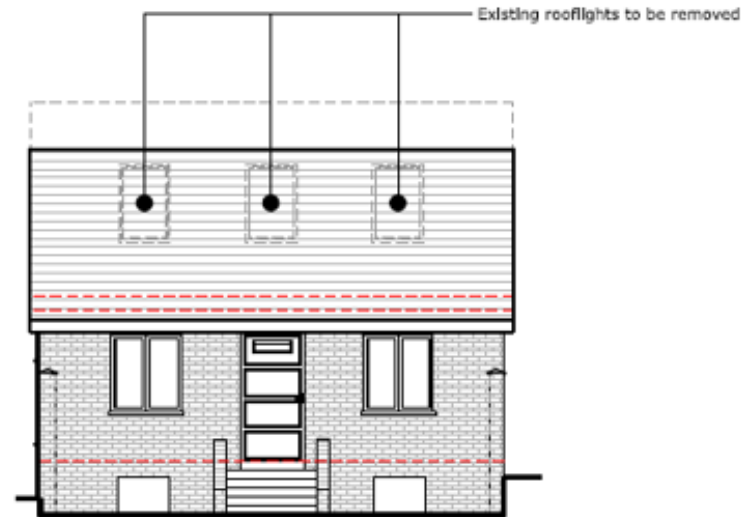


Proposed changes to garage building (compared to approval)

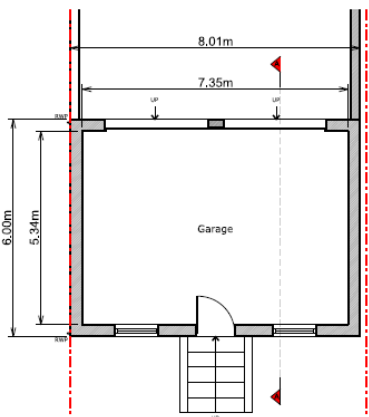
Page 13



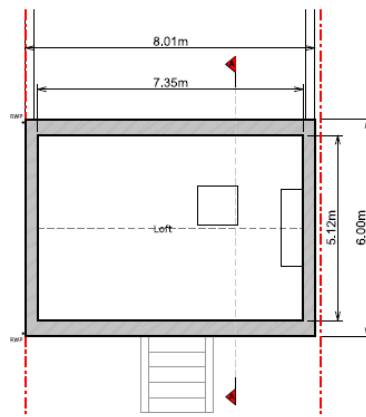
Left Side Elevation



Front Elevation



Ground Floor Plan

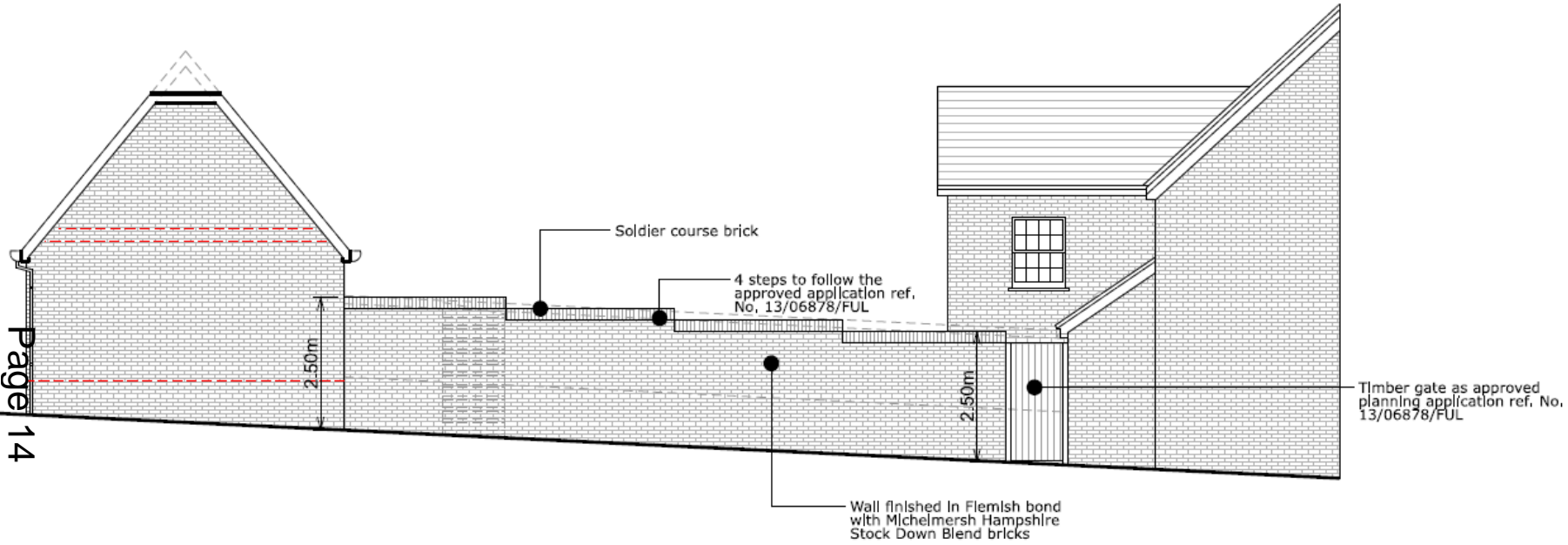


First Floor Plan



Proposed works to boundary walling

Page 14



7b) 20/10665/FUL Chalkway House, Ebbesbourne Wake, Salisbury, Wiltshire, SP5 5JB

Curtilage alterations involving change of use of land from agriculture to residential and from residential to agriculture, terracing, landscaping and associated works (part retrospective)

Recommendation: Approve with Conditions



Site Location Plan

Aerial Photography

Site Photograph – taken from Pound Street



Site Photograph – taken from Pound Street



Site Photograph – taken from Pound Street



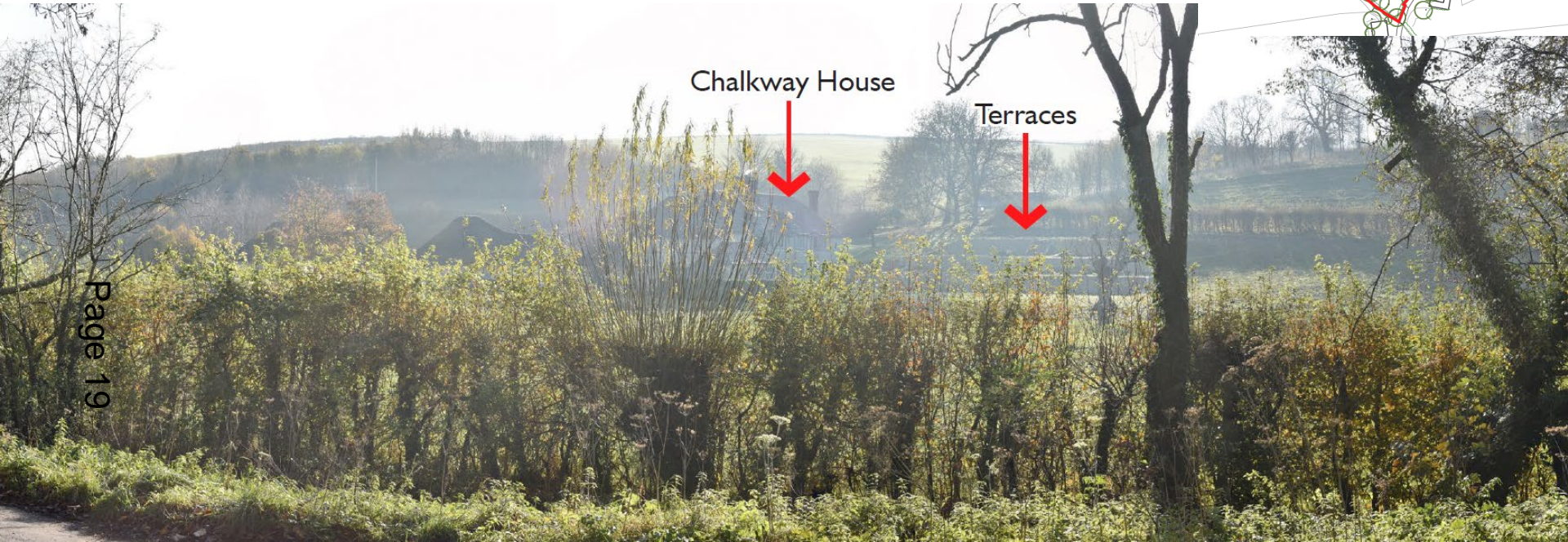
Chalkway House



Page 18



Site Photograph – taken from Pound Street



Chalkway House

Terraces

Site Photograph – taken from Pound Street



Site Photograph – taken from within the site



Site Photograph – taken from within the site



Site Photograph – taken from within the site



Site Photograph – taken from within the site



Site Photograph – taken from the ROW byway

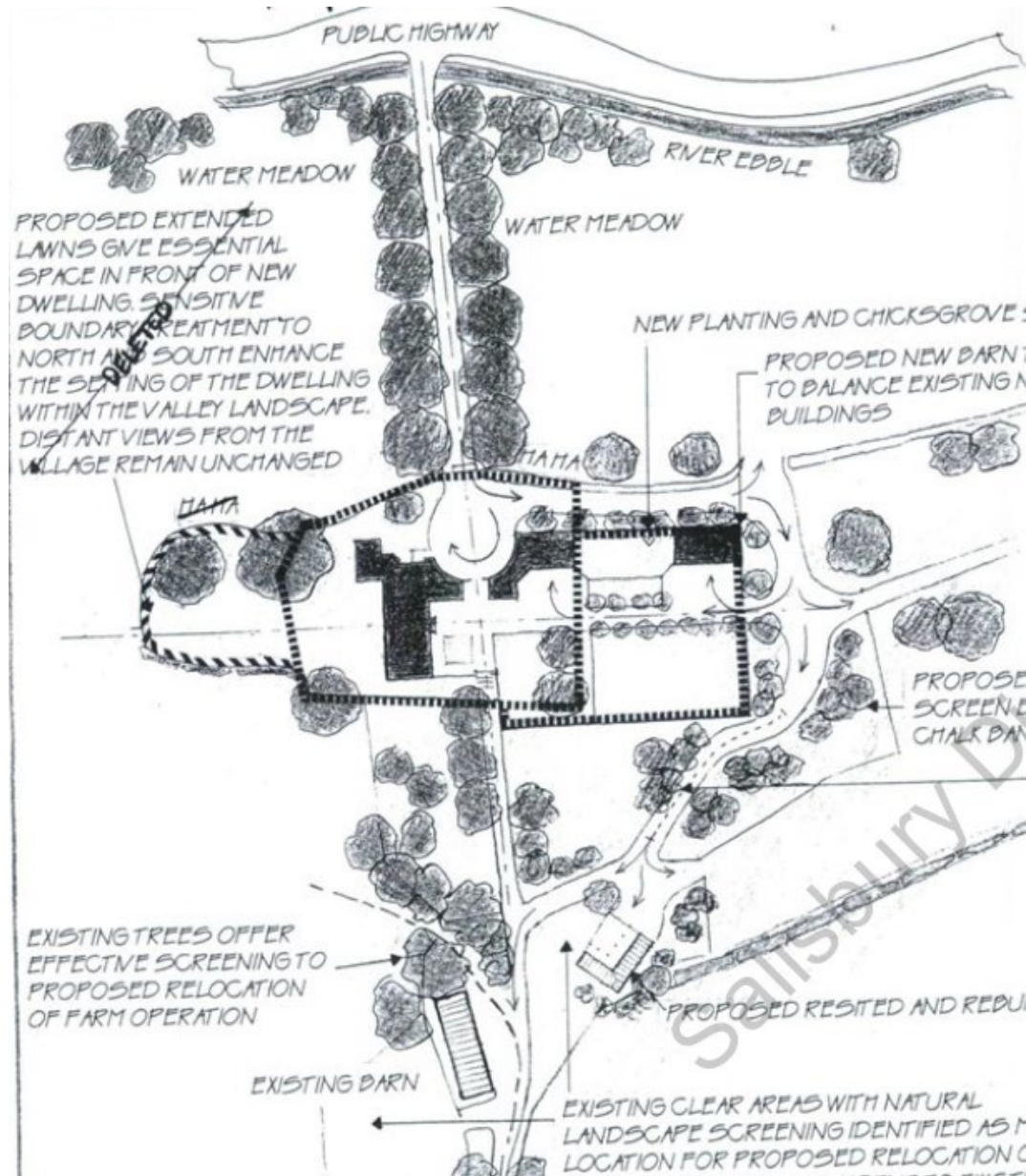


Chalkway House

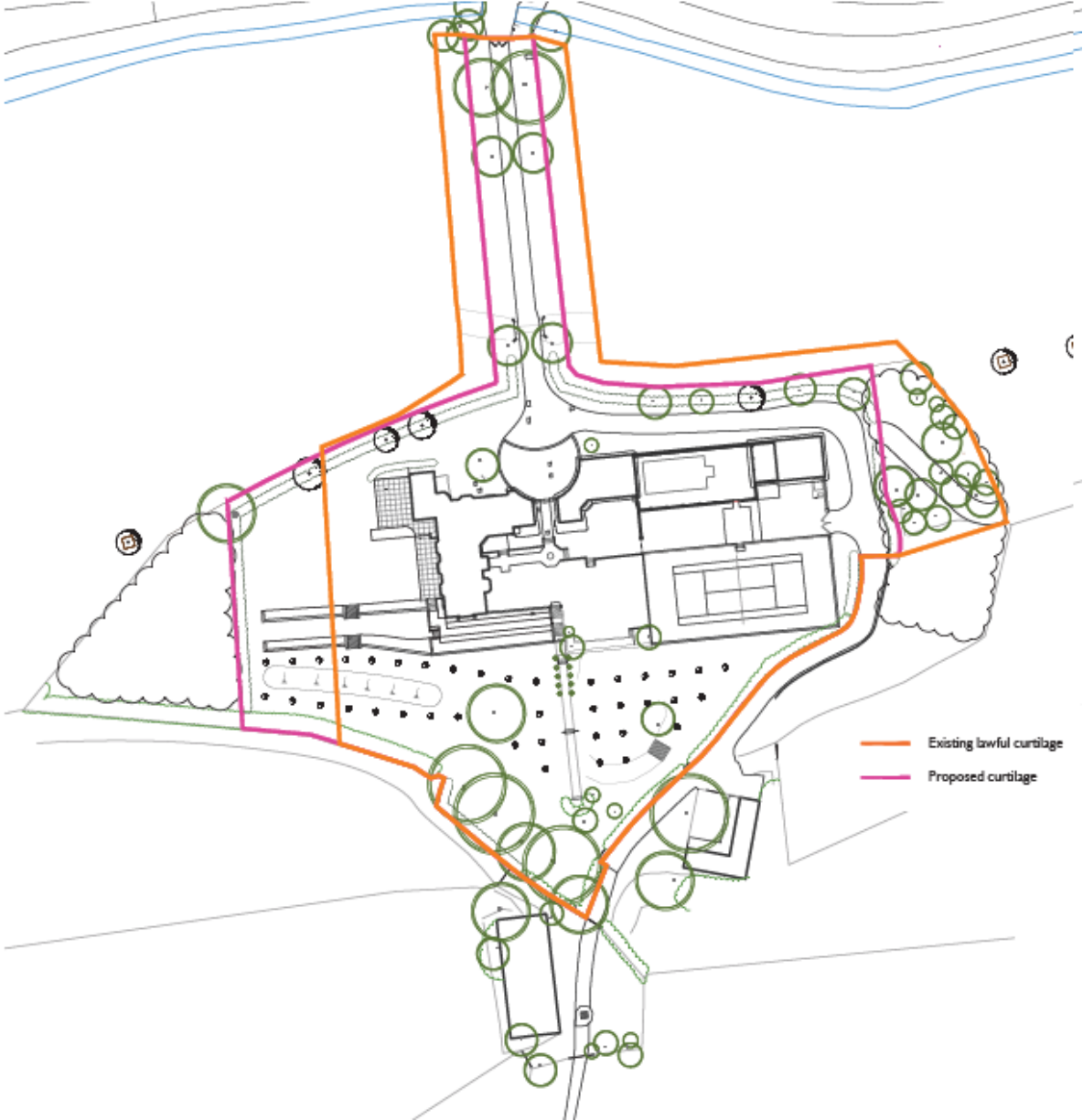
Site Photograph – taken from the ROW byway



Planning History - S/2000/1488 Approved Site Plan



Proposed Curtilage Changes



Proposed Curtilage



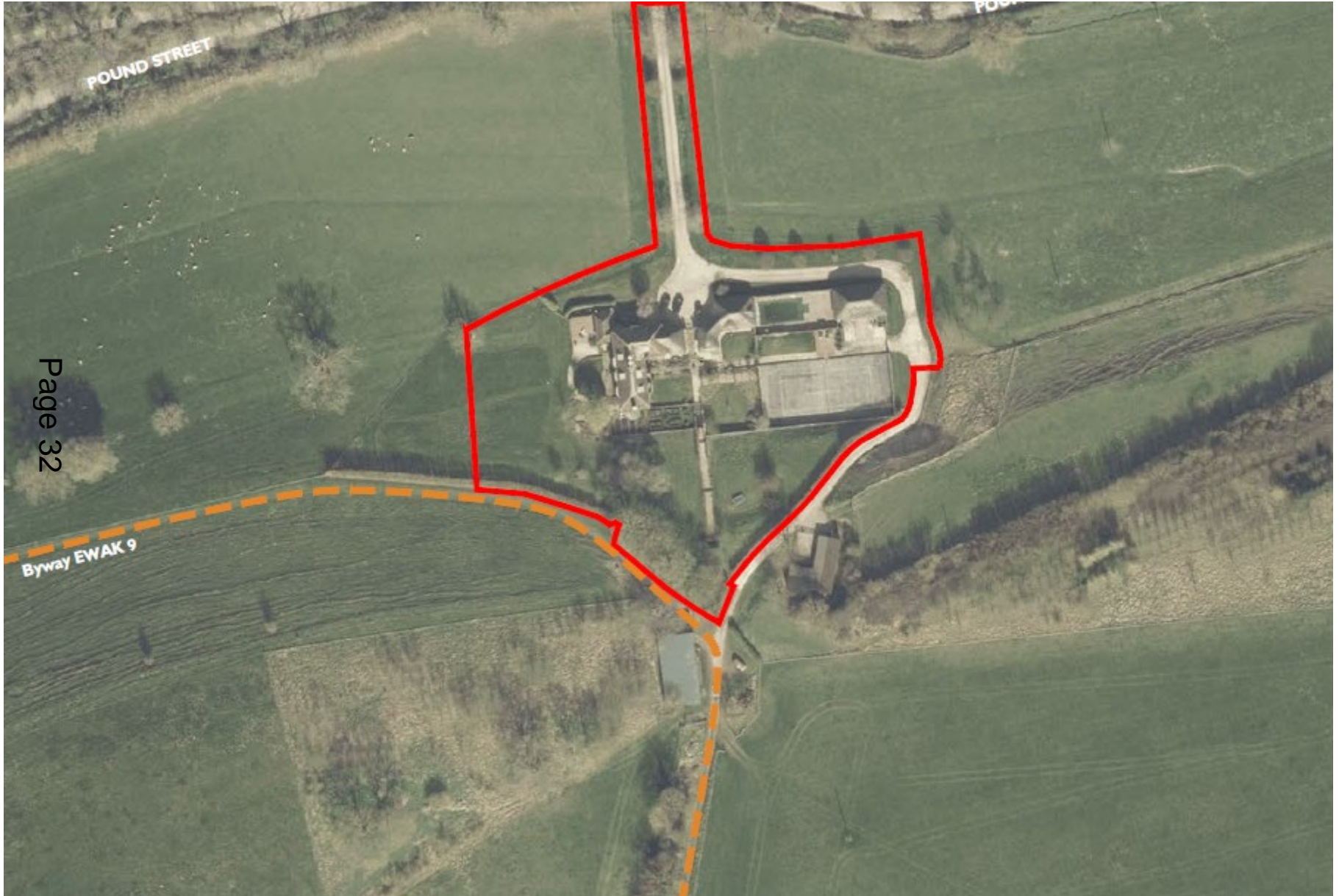
Aerial Photograph - 2005



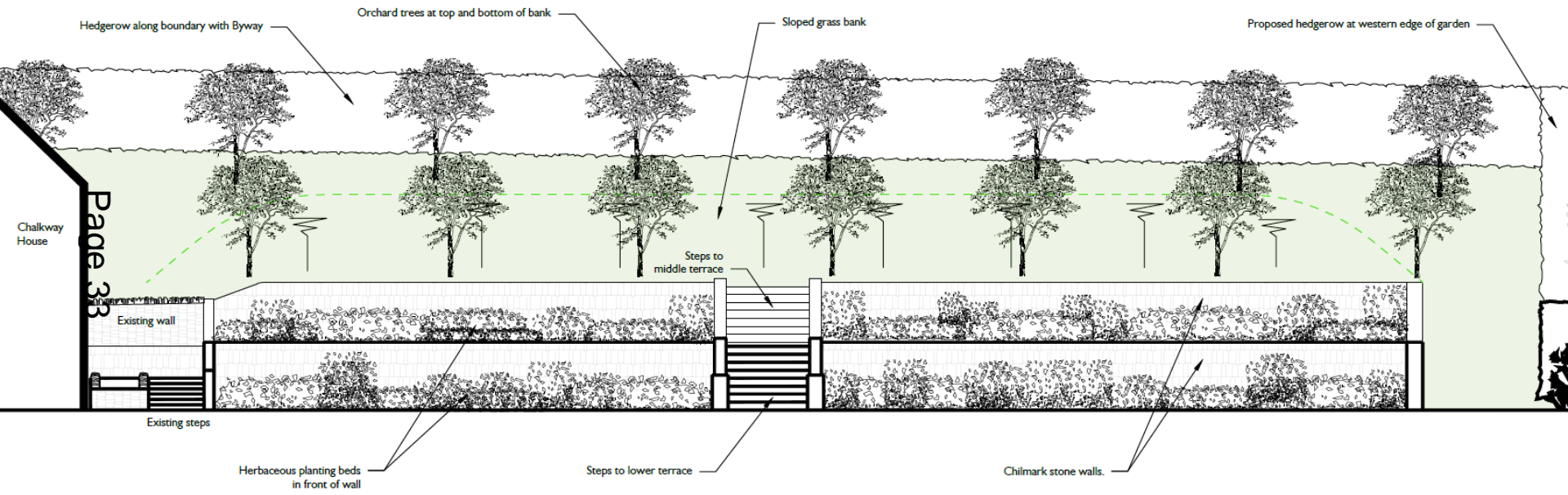
Aerial Photograph - 2014



Proposed Curtilage and ROW Bridleway

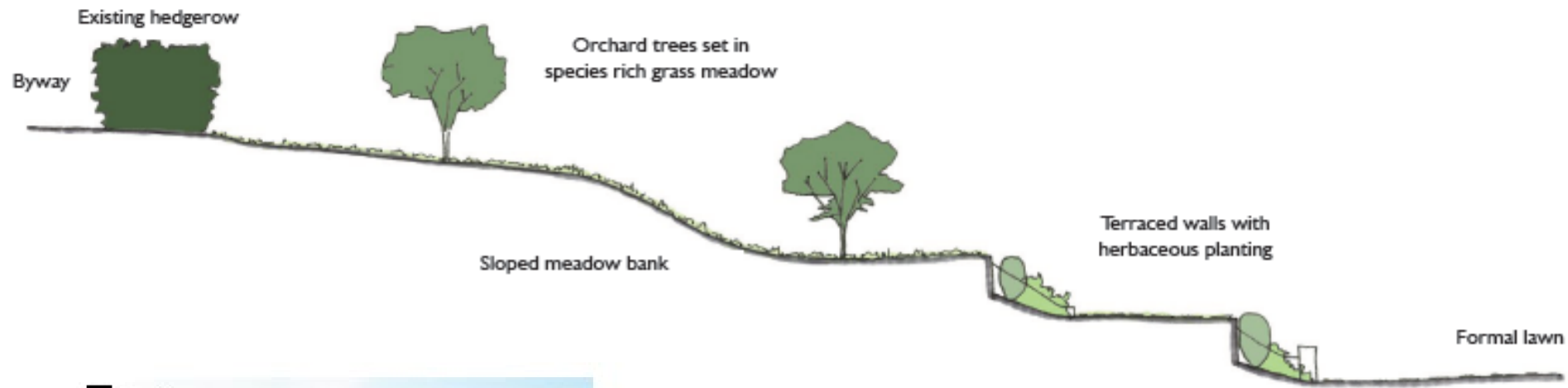


Proposed Adjusted Terracing and sloped grass bank/meadow



Page 38

Section through the terracing and sloped grass bank/meadow



Orchard within species rich meadow with mown grass paths

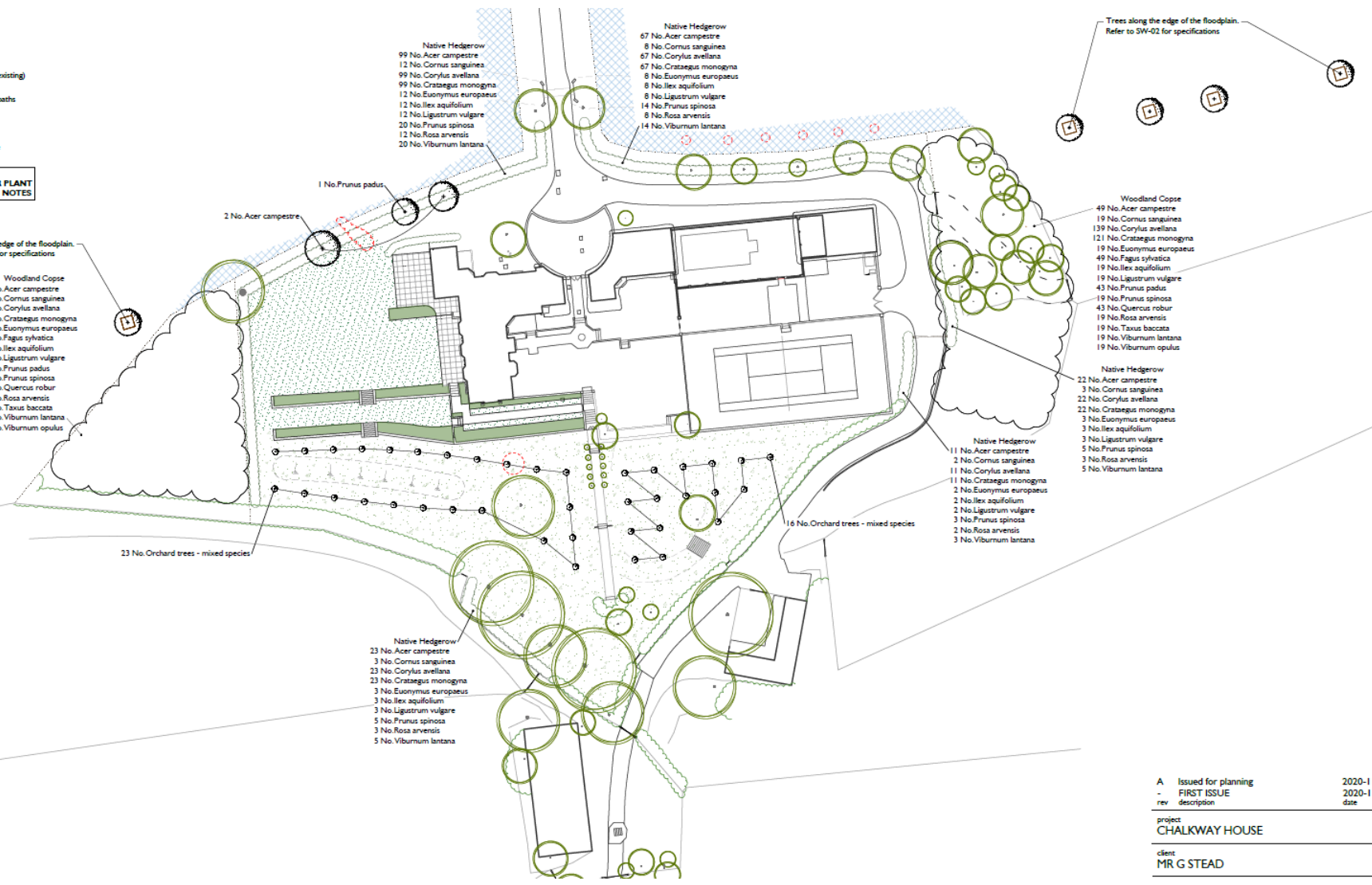
Example of a sloped grass bank proposed as a replacement for the upper terrace wall.

Proposed Landscaping and Planting

- Proposed tree planting
- Proposed woodland copse planting
- Mown grass (all other areas left as existing)
- Longer grass meadow with mown paths
- Shrub and herbaceous planting
- Land returned to floodplain pasture

NOTE:
REFER TO DRAWING 942-SW-02 FOR PLANT SCHEDULE AND IMPLEMENTATION NOTES

Page 35



A	Issued for planning	2020-11-
-	FIRST ISSUE	2020-11-
rev	description	date
project CHALKWAY HOUSE		
client MR G STEAD		

7c) 20/10716/OUT Land at Cools Farm, Tisbury, East Knoyle

Outline planning application to establish access only for agricultural dwelling at Cools Farm.

Recommendation: Approve with Conditions



Site Location Plan



Aerial Photography

Proposed site of dwelling from the west



Application site looking south west



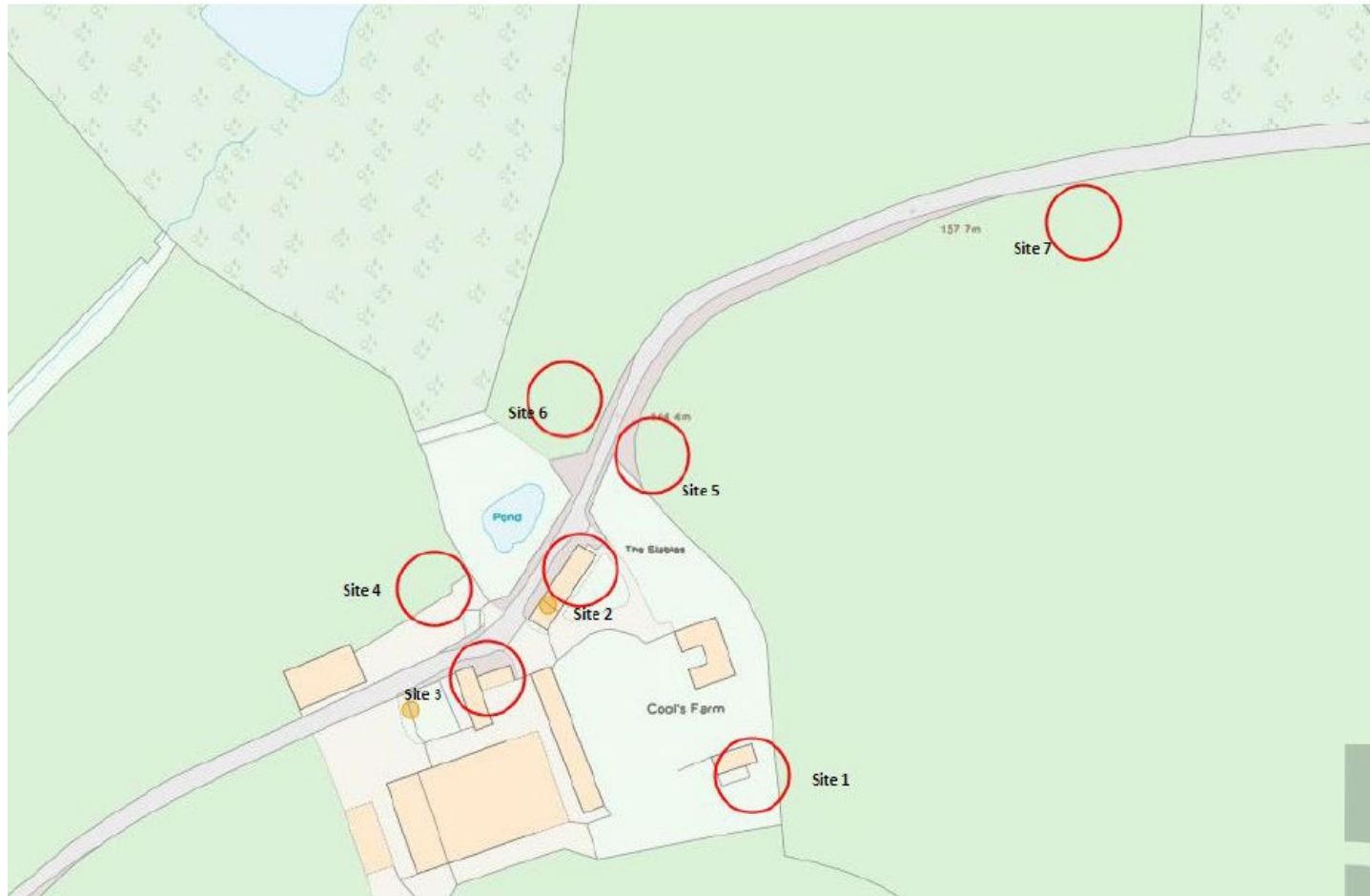
Roof of farm house just visible from site

Tokes Lane looking south west



7 sites considered by applicants

Page 40



Site 1 – building in curtilage of Listed Farmhouse (currently used as a holiday let)



Site 2 – dwelling not in the ownership of the applicant

Page 42



Site 3 – currently 2 holiday cottages



Site 4 – north of Tokes Lane

Page 44



Site 5 – land north of the Farmhouse

Page 45

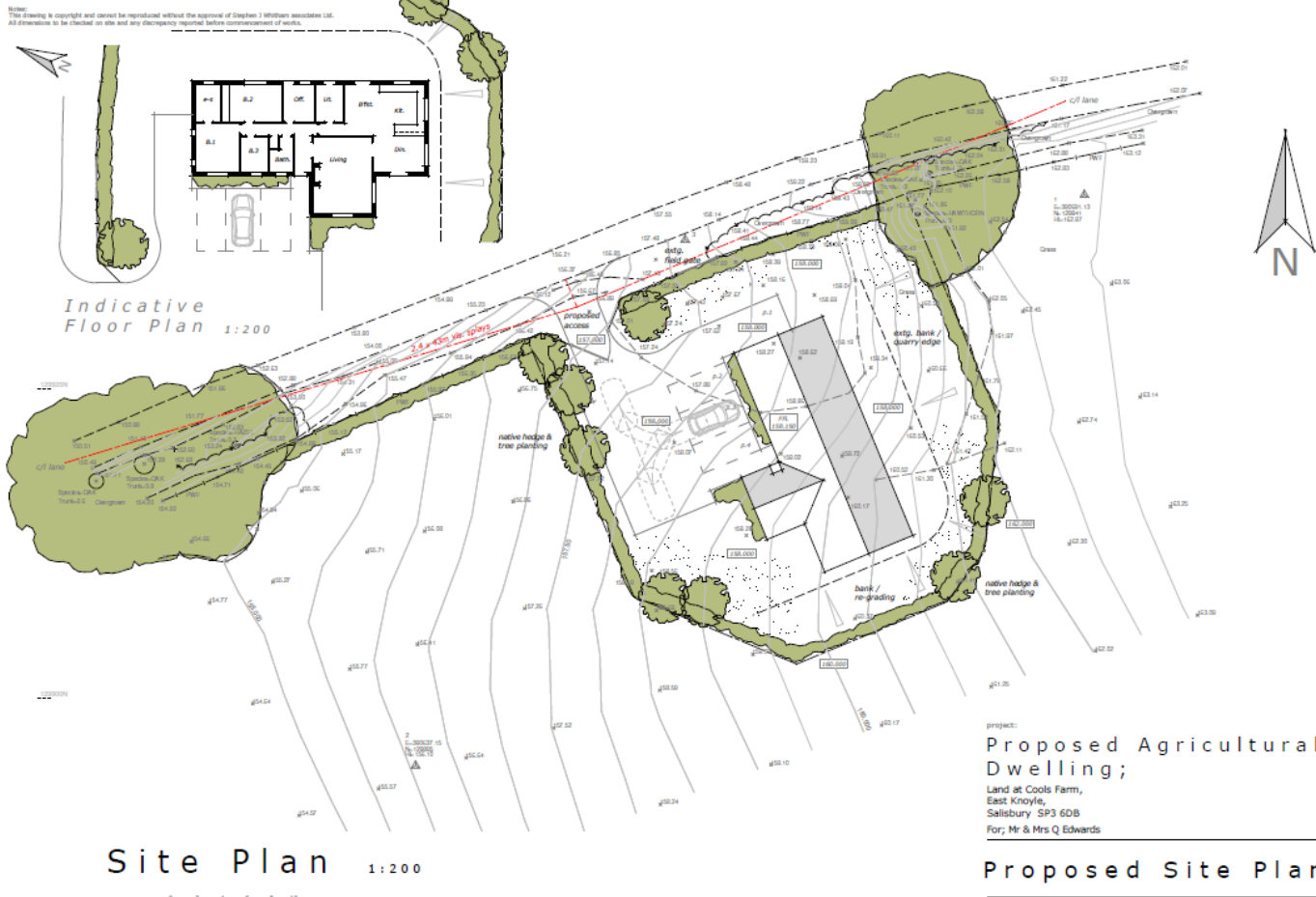


Site 6 – land north of Tokes Lane

Page 46



Proposed site plan



Southern Area Planning Committee

1st April 2021